



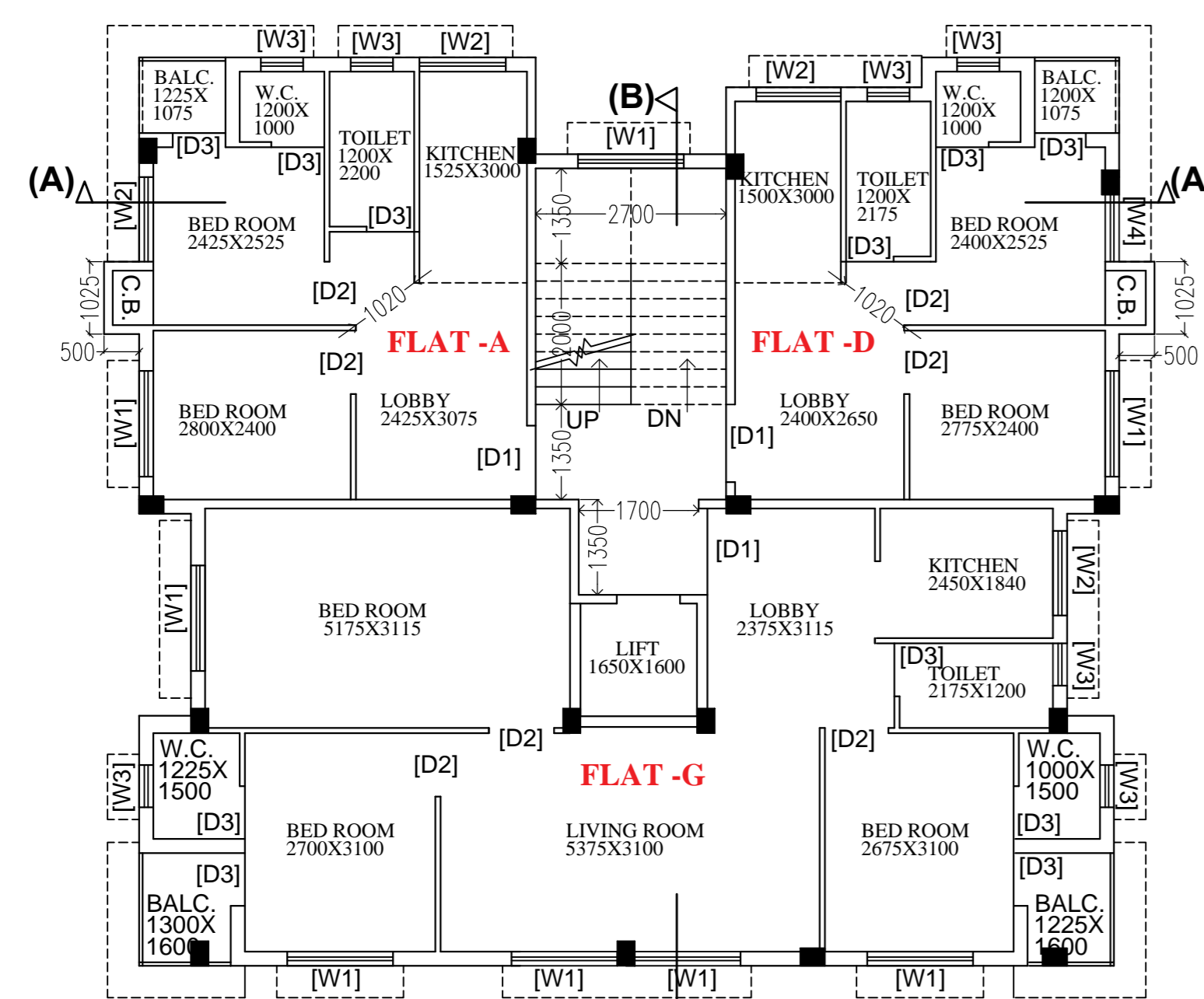
FRONT ELEVATION
SCALE - 1:100

SOUTH SIDE ELEVATION
SCALE - 1:100

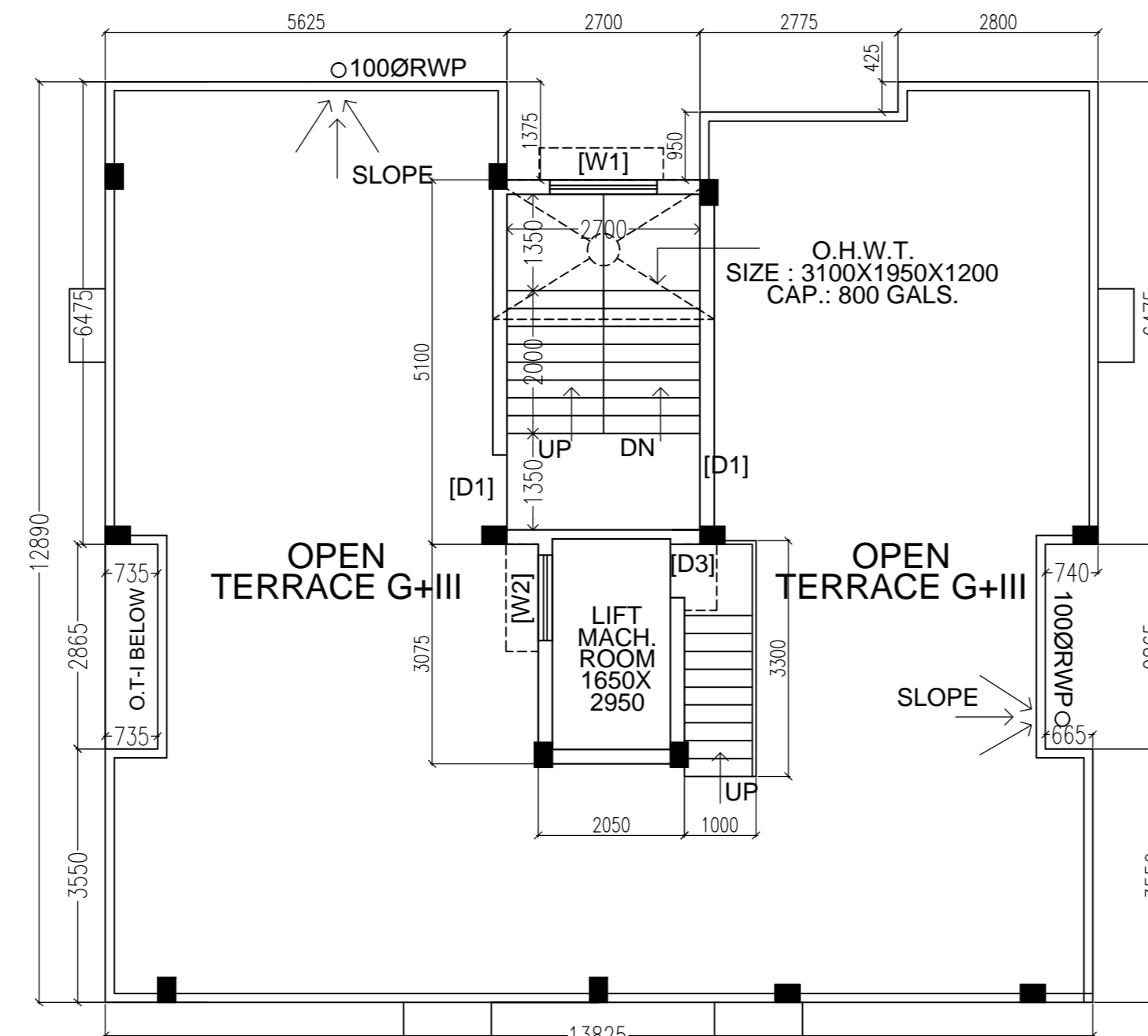
NORTH SIDE ELEVATION
SCALE - 1:100



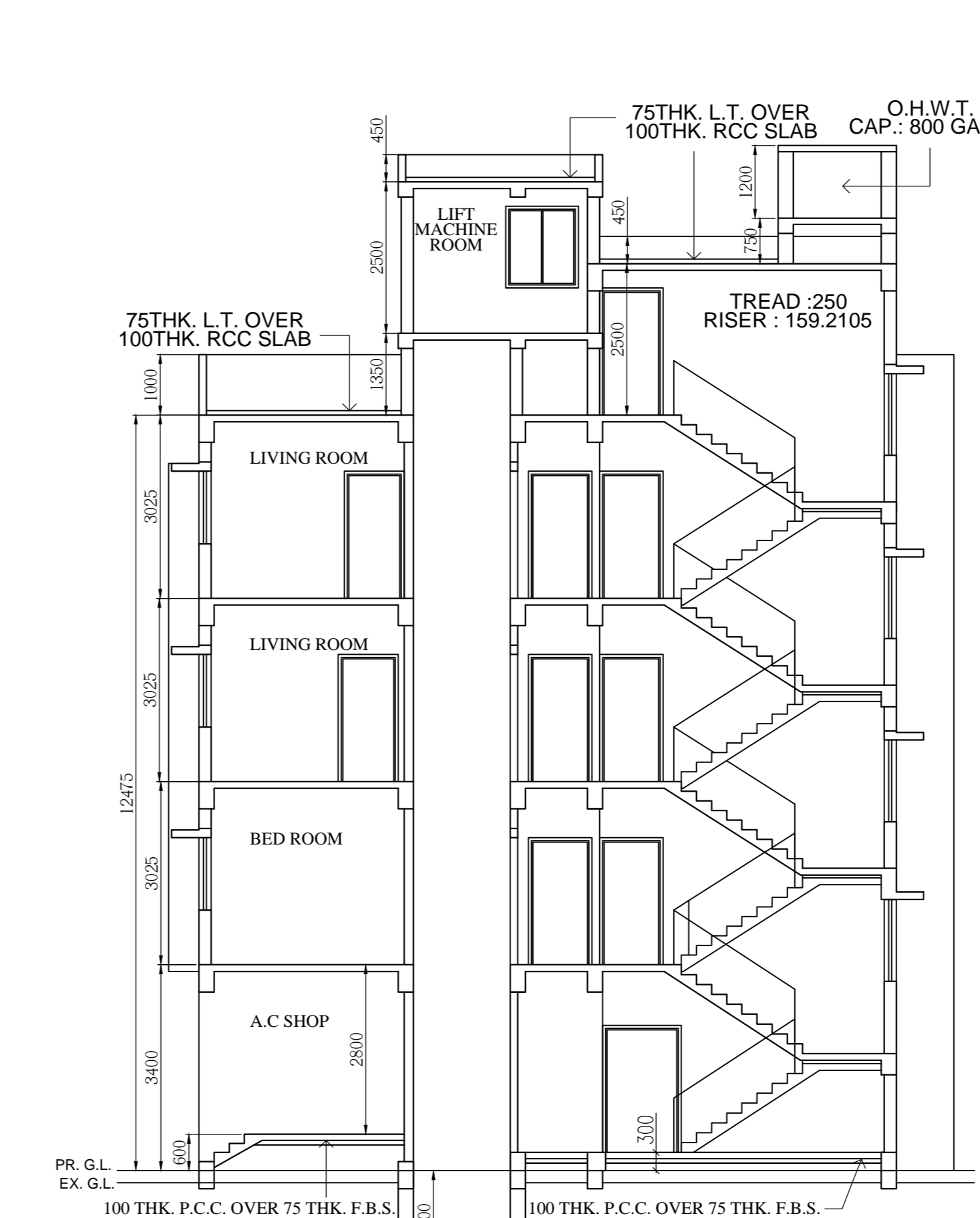
SECTION AT A-A
SCALE - 1:100



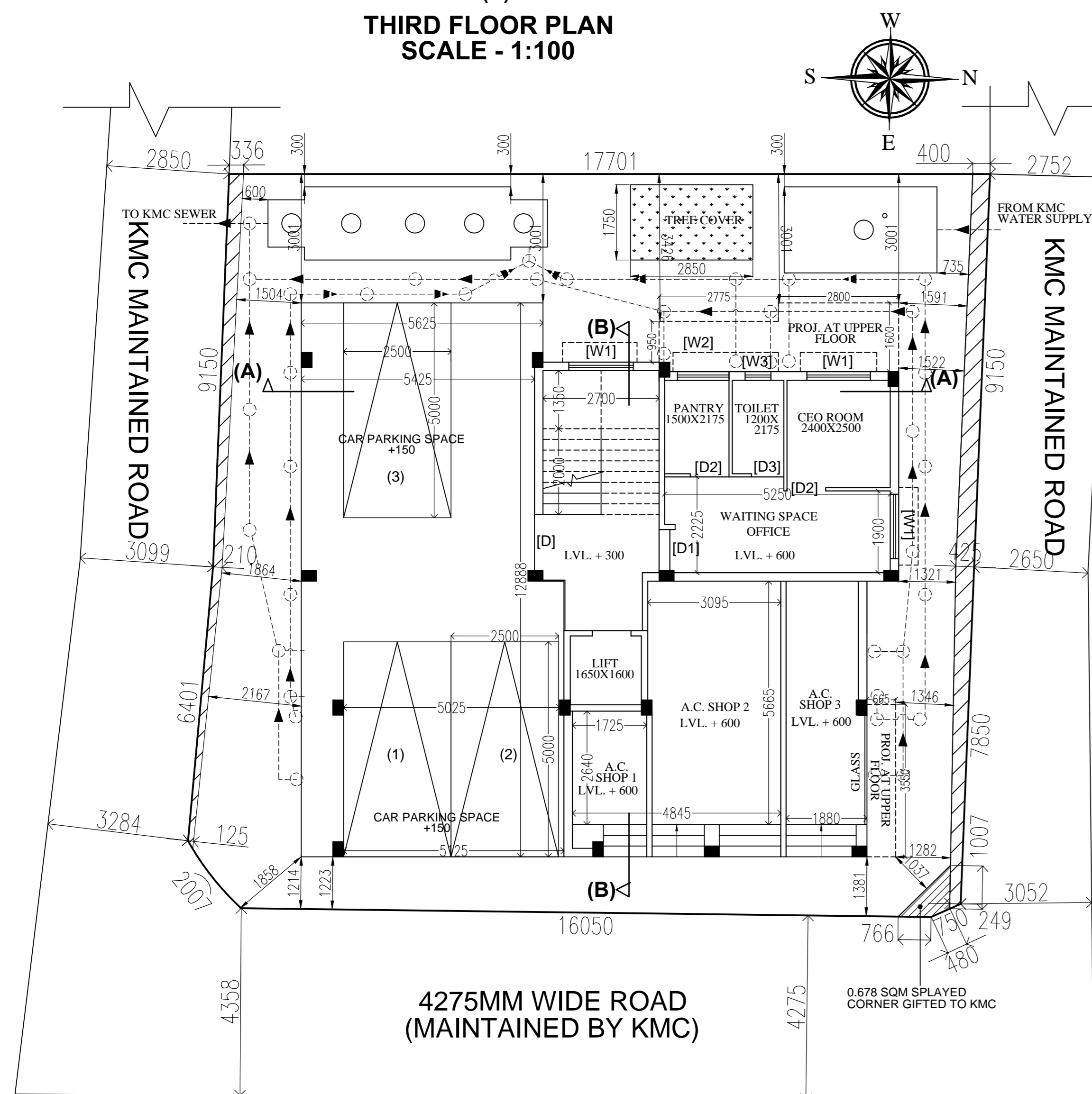
THIRD FLOOR PLAN
SCALE - 1:100



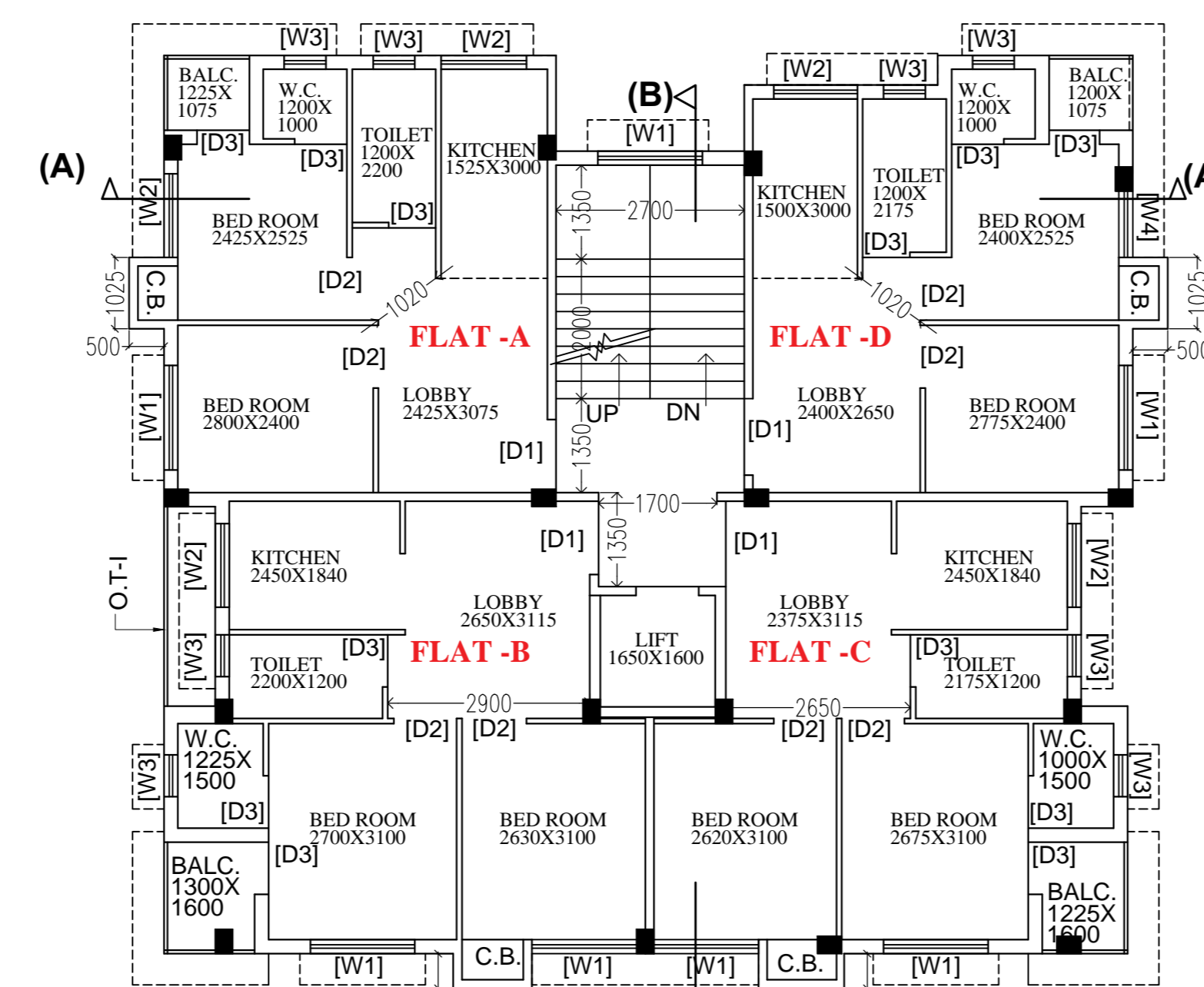
ROOF PLAN
SCALE - 1:100



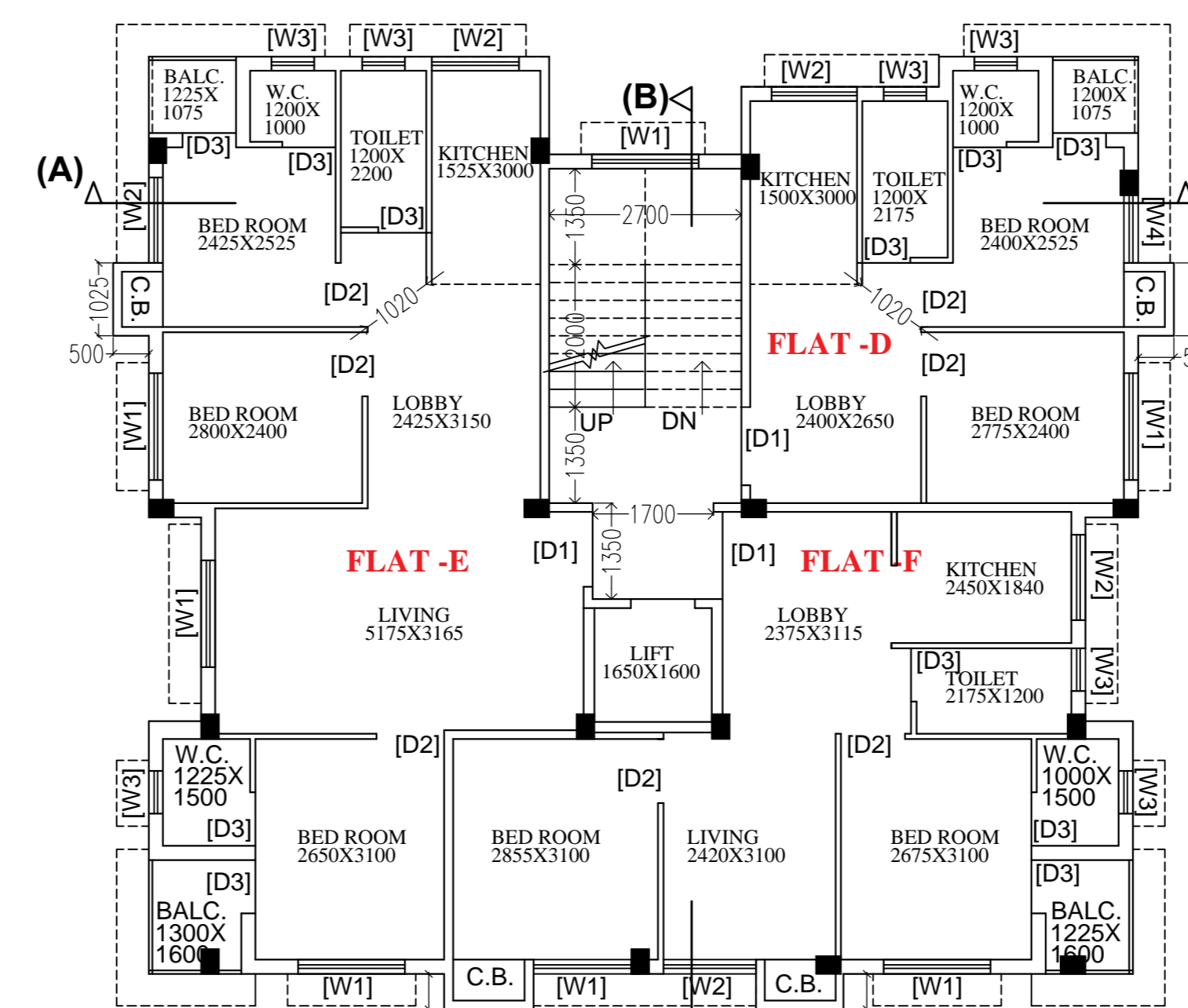
SECTION AT B-B
SCALE - 1:100



GROUND FLOOR PLAN
SCALE - 1:100



FIRST FLOOR PLAN
SCALE - 1:100



SECOND FLOOR PLAN
SCALE - 1:100

SCHEDULE OF DOORS				
MKD.	SIZE	LINTEL	SILL	REMARKS
D	1300X2100	2100		
D1	1000X2100	2100		
D2	900X2100	2100		
D3	750X2100	2100		
SCHEDULE OF WINDOWS				
W	SIZE	LINTEL	SILL	REMARKS
W1	1500X1350	2100	750	
W2	1200X1350	2100	750	
W3	600X600	2100	1500	
W4	950X1350	2100	750	

CERTIFICATE OF STRUCTURAL ENGINEER :

THE STRUCTURAL DESIGN & DRAWING OF BOTH FOUNDATION & SUPER STRUCTURE OF THE BUILDING HAS BEEN PREPARED BY ME CONSIDERING ALL POSSIBLE LOADS INCLUDING THE SEISMIC LOAD AS PER NATIONAL BUILDING CODE OF INDIA & CERTIFIED THAT IT IS SAFE & STABLE IN ALL RESPECTS.

PRANAB KUMAR DAS
EMPANELMENT NO. - I/131(K.M.C.)
STRUCTURAL ENGINEER

CERTIFICATE OF ARCHITECT

CERTIFIED WITH FULL RESPONSIBILITY THAT THE BUILDING PLAN HAS BEEN DRAWN UP AS PER PROVISION OF K.M.C. BUILDING RULES - 2009, AS AMENDED FROM TIME TO TIME & THAT THE SITE CONDITION INCLUDING THE WIDTH OF THE ABUTTING ROAD MAINTAINED BY K.M.C. CONFORM WITH THE PLAN, WHICH HAS BEEN MEASURED AND VERIFIED BY ME. IT IS A BUILDABLE SITE & NOT A TANK OR FILLED UP TANK. THE PLOT IS BOUNDED BY BOUNDARY WALLS. THE CONSTRUCTION OF S.U.G. WATER TANK AND SEPTIC TANK WILL BE COMPLETED BEFORE STARTING OF BUILDING FOUNDATION WORK.

MOU CHATTERJEE
EMPANELMENT NO. - I/1540(K.M.C.)
NAME OF L.B.S

OWNER DECLARATION :

I / WE SHALL ENGAGE L.B.A. & E.S.E. DURING CONSTRUCTION I / WE SHALL FOLLOW THE INSTRUCTION OF L.B.A. & E.S.E. DURING CONSTRUCTION OF THE BUILDING AS PER B.S. PLAN. K.M.C. AUTHORITY WILL NOT BE RESPONSIBLE FOR STRUCTURAL STABILITY OF THE BUILDING & ADJOINING STRUCTURES. IF ANY SUBMITTED DOCUMENTS ARE FOUND TO BE FAKE, THE K.M.C. AUTHORITY WILL REVOKE THE SANCTION PLAN. THE CONSTRUCTION OF WATER RESERVOIR AND SEPTIC TANK WILL BE UNDERTAKEN UNDER THE GUIDANCE OF E.S.E. & L.B.A. BEFORE STARTING OF BUILDING FOUNDATION WORK.

UTTAM SAMADER (PROP. OF SONALI CONSTRUCTION) C.A. OF SRI SOMENATH ACHARJEE, SMT. SHILA CHATTERJEE
NAME OF OWNERS/APPLICANT

PERMISSIBLE TOP ELEVATION REFERENCE TO CCZM ISSUED BY AA1: 33 MTS.
CO-ORDINATE IN WGS 84 AND SITE ELEVATION [AMSL]

REFERENCE POINTS MARKED IN THE SITE PLAN OF THE PROPOSAL	CO-ORDINATE IN WGS 84	SITE ELEVATION [AMSL]
	LATITUDE	LONGITUDE
	22°27'17.28"N	88°18'12.96"E
		4.41M

MOU CHATTERJEE
EMPANELMENT NO. - I/1540(K.M.C.)
NAME OF L.B.S

CERTIFICATE OF GEO-TECHNICAL ENGINEER :

UNDERSIGNED HAS INSPECTED THE SITE & CARRIED OUT THE SOIL INVESTIGATION THEREIN IT IS CERTIFIED THE EXISTING SOIL OF THE SITE IS ABLE TO CARRY OUT THE LOAD FROM THE PROPOSED CONSTRUCTION AND THE FOUNDATION SYSTEM THEREIN IS SAFE AND STABLE IN ALL RESPECT FROM GEO-TECHNICAL POINT OF VIEW.

DR. SANTOSH KUMAR CHAKRABORTY
EMPANELMENT NO. - GT/161 (K.M.C.)
GEO-TECHNICAL ENGINEER

PLAN OF A PROPOSED G+III STORED RESIDENTIAL BUILDING U/S 393A OF K.M.C. ACT 1980 COMPLYING K.M.C. BUILDING RULE 2009 (AMENDED) AT PREMISES NO.- 504, USTAD AMIR KHAN SARANI, KOLKATA 700082 UNDER WARD NO. 122, BOROUGH NO. XIII, P.S. HARIDVAPUR.

OWNER NAME:-
SRI SOMENATH ACHARJEE,
SMT. SHILA CHATTERJEE

B.P.NO.:...2023130994..... DATE:..31.07.2023.....
VALID UPTO:..30.07.2028.....

- SPECIFICATION :**
- STRUCTURAL CEMENT CONCRETE M - 25 GRADE WITH 19 MM DOWN STONECHIPS.
 - GRADE OF REINFORCEMENT Fe - 500
 - 200TH FIRST CLASS BRICKWORK AT EXTERNAL WALLS WITH 1:6 CEMENT SAND MORTAR UNLESS OTHERWISE MENTIONED.
 - 75TH FIRST CLASS BRICKWORK AT INTERNAL WALLS WITH 1:6 CEMENT SAND MORTAR UNLESS OTHERWISE MENTIONED.
 - 75TH LIME TERRACING (2:2:7) ON ROOF.
 - ALL DIMENSIONS ARE IN MILLIMETER.
 - 25TH D.P.C WITH CEMENT CONCRETE (1:2:4) WITH 6 MM DOWN STONE CHIPS & 5% WATER PROOFING COMPOUND.
 - 19 MM THICK CEMENT PLASTER (1:4) TO THE EXTERNAL WALLS.
 - 12 MM THICK CEMENT PLASTER (1:4) TO THE INTERNAL WALLS.
 - 6 MM THICK CEMENT PLASTER (1:4) TO BEAM, CEILING, ETC.
 - 32 MM THICK CAST-IN-SITU MARBLE FLOOR.
 - WOOD WORK IN DOOR FRAMES WITH SAL WOOD.
 - 200 MM X 25 MM X 6 MM M.S. CLAMP FOR DOORS & WINDOWS.
 - SANITARY & PLUMBING FITTINGS TO BE USED AS PER DIRECTION.
 - WRITTEN DIMENSION ARE TO BE FOLLOWED.
 - 450 MM CHAJJA PROJECTION.
 - DEPTH OF EMI UNDER GROUND RESERVOIR AND SEPTIC TANK DOES NOT EXCEED THE DEPTH OF THE FOUNDATION.
 - ALL C.B. WALLS ARE 125THK. R.C.C. WALL.

STATEMENT OF PLAN PROPOSAL

PART - A
ASSEESSE NO. :- 411220905085

1. DETAILS OF DEED NO. :- BOOK NO. - I, VOLUME NO. - 266, PAGES - 206 TO 214 BEING NO. - 10846, YEAR - 1990, DATED - 23.07.1990, OFFICE - D.S.R ALIPORE SOUTH 24 PARGANAS, WEST BENGAL.

2. DETAILS OF DEED NO. :- BOOK NO. - I, VOLUME NO. - 7, PAGES - 1498 TO 14211 BEING NO. - 09607, YEAR - 2012, DATED - 04.06.2012, OFFICE - D.S.R II SOUTH 24 PARGANAS, WEST BENGAL.

3. DETAILS OF AMALGAMATION DEED NO. :- BOOK NO. - I, VOLUME NO. - 1602-2023, PAGES - 45694 TO 45714 BEING NO. - 16020163, YEAR - 2023, DATED - 01.02.2023, OFFICE - D.S.R II SOUTH 24 PARGANAS, WEST BENGAL.

4. DETAILS DEED OF BOUNDARY DECLARATION :- BOOK NO. - I, VOLUME NO. - 1602-2023, PAGES - 22876 TO 22879 BEING NO. - 160206651, YEAR - 2023, DATED - 22.05.2023, OFFICE - D.S.R II SOUTH 24 PARGANAS, WEST BENGAL.

5. DETAILS DEED OF STRIP OF LAND :- BOOK NO. - I, VOLUME NO. - 1602-2023, PAGES - 22875 TO 22877 BEING NO. - 160206653, YEAR - 2023, DATED - 22.05.2023, OFFICE - D.S.R II SOUTH 24 PARGANAS, WEST BENGAL.

6. DETAILS DEED OF SPLAYED CORNER :- BOOK NO. - I, VOLUME NO. - 1602-2023, PAGES - 22877 TO 22878 BEING NO. - 160206652, YEAR - 2023, DATED - 22.05.2023, OFFICE - D.S.R II SOUTH 24 PARGANAS, WEST BENGAL.

7. DETAILS DEED POWER OF ATTORNEY :- BOOK NO. - I, VOLUME NO. - 1602-2023, PAGES - 46263 TO 46262 BEING NO. - 16020166, YEAR - 2023, DATED - 01.02.2023, OFFICE - D.S.R II SOUTH 24 PARGANAS, WEST BENGAL.

7. AREA OF LAND AS PER DEED : 04K - 13CH - 15 SFT. (323.299 SQM)
8. AREA OF LAND AS PER B. DECL. : 04K - 08CH - 41 SFT. (304.812 SQM.)

NO. OF STORIES INCLUDING BASEMENT IF ANY :- G+III
NO. OF TENEMENTS : 10 NOS.
SIZE OF TENEMENT : BELOW 50 SQM - 7 NOS. , 50 TO 75SQM - 1 NO. , 75 SQM TO 100 SQM - 2 NOS.

BUSINESS AREA : CARPET - 22.800 SQM & COVERED - 26.438 SQM
MERCHANTILE ETAIL AREA : CARPET - 36.798 SQM & COVERED - 39.837SQM.

UTTAM SAMADER (PROP. OF SONALI CONSTRUCTION) C.A. OF SRI SOMENATH ACHARJEE, SMT. SHILA CHATTERJEE
NAME OF OWNERS/APPLICANT

MOU CHATTERJEE
EMPANELMENT NO. - I/1540(K.M.C.)
NAME OF L.B.S

PART - B

- ACTUAL AREA OF LAND : 04K - 08CH - 41 SFT. (304.812 SQM)
- PERMISSIBLE GROUND COVERAGE : 172.237 SQM (56.506 %)
- PROPOSED GROUND COVERAGE :- 171.893 SQM. (56.393 %)

FLOOR	TOTAL COVERED AREA	STAIR (CARPET)	LIFT (SHAFT)	LOBBY	EXEMPTED AREA FOR F.A.R
GROUND FLOOR	161.847 SQM.	12.69 SQM.	----	2.464 SQM.	146.693 SQM.
FIRST FLOOR	169.787 SQM.	12.69 SQM.	2.640 SQM.	2.295 SQM.	152.162 SQM.
SECOND FLOOR	169.787 SQM.	12.69 SQM.	2.640 SQM.	2.295 SQM.	152.162 SQM.
THIRD FLOOR	169.787 SQM.	12.69 SQM.	2.640 SQM.	2.295 SQM.	152.162 SQM.
TOTAL	671.208 SQM.	50.76 SQM.	7.920 SQM.	9.349 SQM.	603.179 SQM.

FLAT MKD.	TENEMENT AREA	PROPORTIONAL AREA TO BE ADDED	ACTUAL TENEMENT AREA	NOS.	REQUIRED CAR PARKING
A	35.439 SQM.	5.769 SQM.	41.208 SQM.	2 NOS.	
B	40.824 SQM.	6.646 SQM.	47.470 SQM.	1 NO.	
C	39.563 SQM.	6.441 SQM.	46.004 SQM.	1 NO.	
D	33.944 SQM.	5.526 SQM.	39.470 SQM.	3 NOS.	2 NOS.
E	66.976 SQM.	10.904 SQM.	77.880 SQM.	1 NO.	
F	48.890 SQM.	7.953 SQM.	56.803 SQM.	1 NO.	
G	80.387 SQM.	13.087 SQM.	93.474 SQM.	1 NO.	

OFFICE AREA (BUSINESS) : COVERED : 26.438 SQM & CARPET : 22.800 SQM
CAR PARKING REQUIRED = NIL.
SHOP AREA (MERCHANTILE RETAIL) : COVERED : 39.837 SQM & CARPET : 36.798 SQM
CAR PARKING REQUIRED = 1 NO.

- NO. OF CAR PARKING (MANDATORY) : 3 NOS. , 75 SQM.
- NO. OF CAR PARKING (PROVIDED) : 3 NOS. , 74.553 SQM.
- PERMISSIBLE F.A.R :- 1.75
- PROPOSED F.A.R : 603.179 - 74.553 / 304.812 = 1.734
- PROPOSED HEIGHT OF THE BUILDING :- 12.475 M.
- PROPOSED DEPTH OF THE BUILDING :- 12.890 M.
- OPEN TERRACE AREA :- 171.893 SQM.
- CUP BOARD AREA :- 5.56 SQM.
- STAIR HEAD ROOM AREA :- 15.810 SQM.
- ROOF TANK AREA :- 6.045 SQM.
- LIFT MACHINE ROOM AREA :- 6.304 SQM.
- LIFT MACHINE ROOM STAIR AREA :- 3.25 SQM.
- TREE COVER - REQUIRED (1.531%) = 4.667 SQM. PROVIDED (1.636%) = 4.988 SQM.

DIGITAL SIGNATURE OF E.E

DIGITAL SIGNATURE OF A.E